

912 5th Street NE- GARAGE

Washington, DC 20002

BZA-Preliminary

June 7, 2018

OWNER:
 ANDREW COOPER
 912 5TH STREET NE
 WASHINGTON, DC 20002

ARCHITECT:
 FOWLER ARCHITECTS
 1819 D STREET SE
 WASHINGTON, DC 20003
 (202)546-0896

PROPERTY INFORMATION:
 LOT: 0042
 SQUARE: 0807
 LOT AREA: 1620 SF
 ZONE: RF-1
 USE GROUP: R-3
 TWO STORY PLUS CELLAR ROW DWELLING
 EXISTING: SINGLE FAMILY DWELLING
 PROPOSED: TWO FAMILY FLAT

PROJECT DESCRIPTION:
 NEW TWO-STORY GARAGE W/ APARTMENT

ZONING INFORMATION:

	Existing	Proposed	Allowable
Lot Coverage	714 SF	1133 SF	972 SF
(Percentage)	44%	70%	60%
Rear Yard	52.7'	NO CHANGE	20 FT MIN
Side Yard	N/A	N/A	N/A
Open Court	N/A	N/A	N/A
Height	30.0'	NO CHANGE	35.0'
Stories	2+CELLAR	NO CHANGE	3+CELLAR
Pervious Surface	55.9%	30.1%	20%
Parking	1 SPOT	NO CHANGE	1 PER PRINCIPLE DU
Square Footage			
Cellar	679 SF	NO CHANGE	N/A
First Floor	679 SF	NO CHANGE	N/A
Second Floor	679 SF	NO CHANGE	N/A
Total	2037 SF	NO CHANGE	
GARAGE	N/A	838 SF	N/A



SITE MAP



DRAWING INDEX:

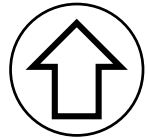
- C-1 COVER SHEET
- C-2 SITE PLAN
- C-3 BLOCK PLAN
- C-4 PHOTOGRAPHS
- C-5 PHOTOGRAPHS
- D-1 EXISTING YARD PLAN
- A-1 GARAGE FIRST FLOOR PLAN
- A-2 GARAGE SECOND FLOOR PLAN
- A-3 ROOF PLAN
- A-4 EXTERIOR ELEVATIONS
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS



EXISTING 2 STORY
ROW DWELLING
W/ CELLAR

PROPOSED TWO STORY
GARAGE, SEPARATE
DWELLING UNIT

1 BLOCK PLAN
C-3 SCALE: 1/32" = 1'-0"



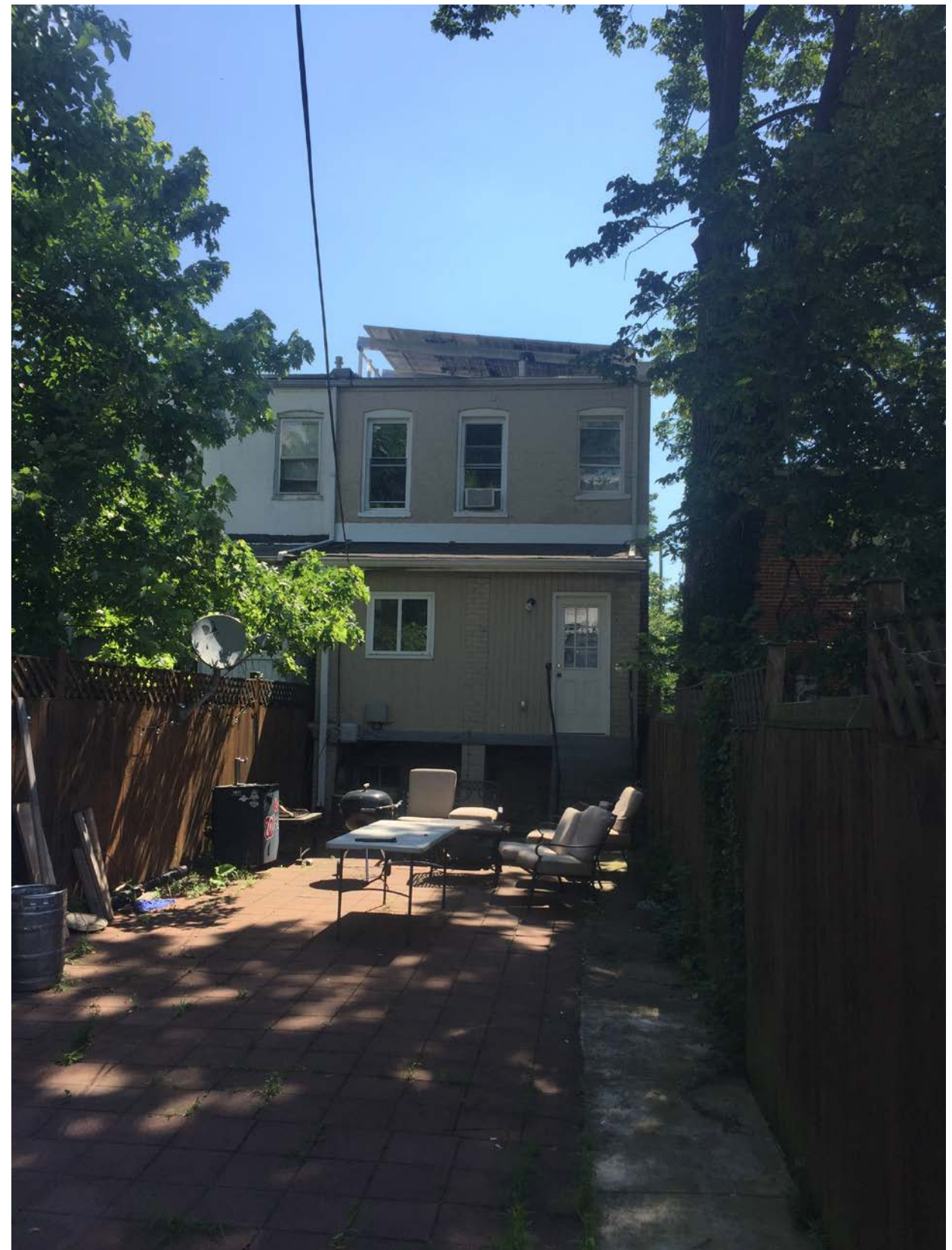
912 5TH Street NE- BLOCK PLAN

Fowler Architects

6/7/18



EXISTING YARD FROM ALLEY



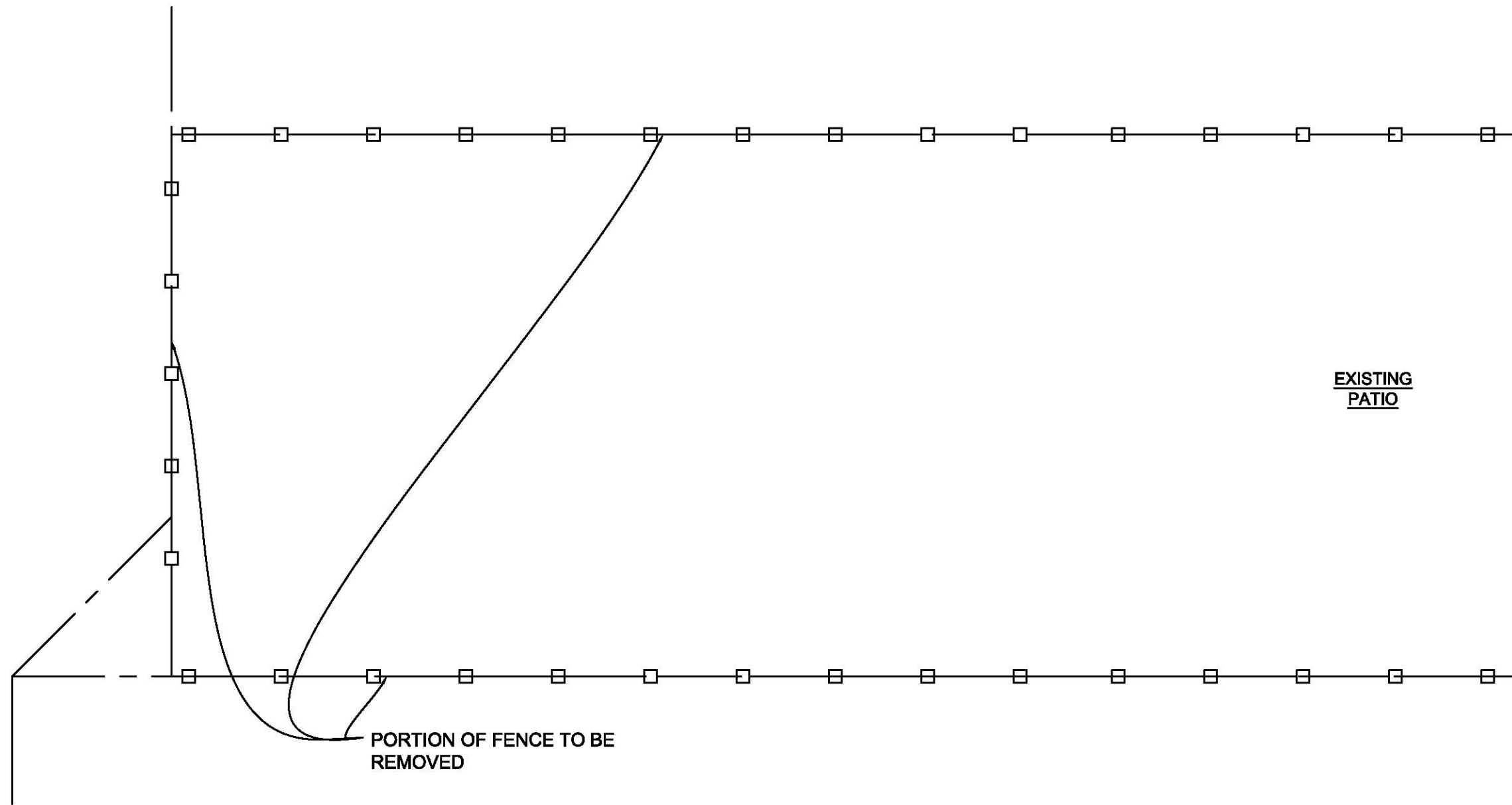
EXISTING REAR YARD



ALLEY, LOOKING NORTH

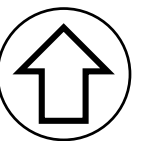
ALLEY, LOOKING SOUTH

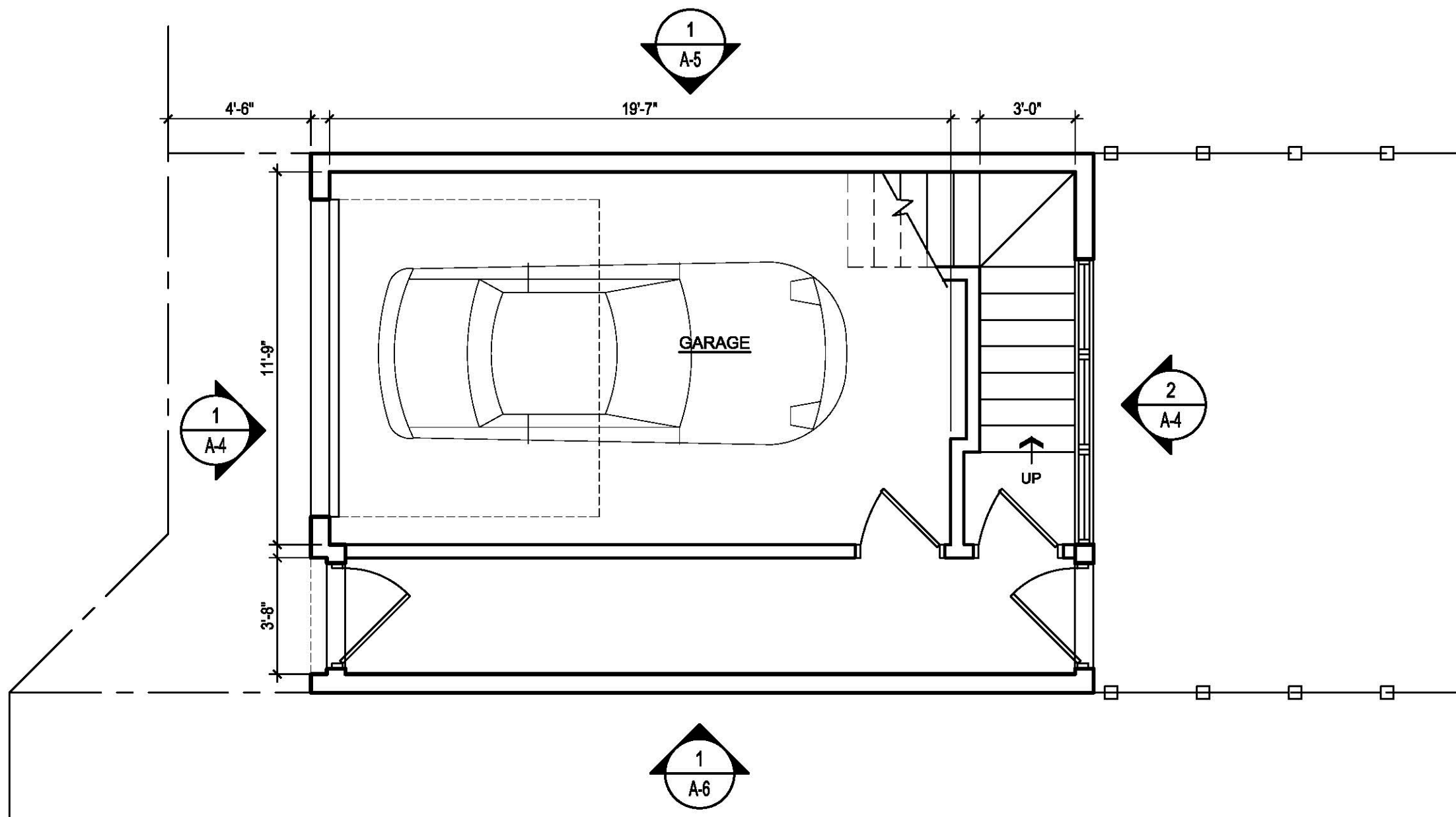




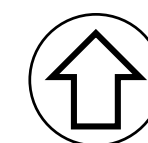
1
D-1

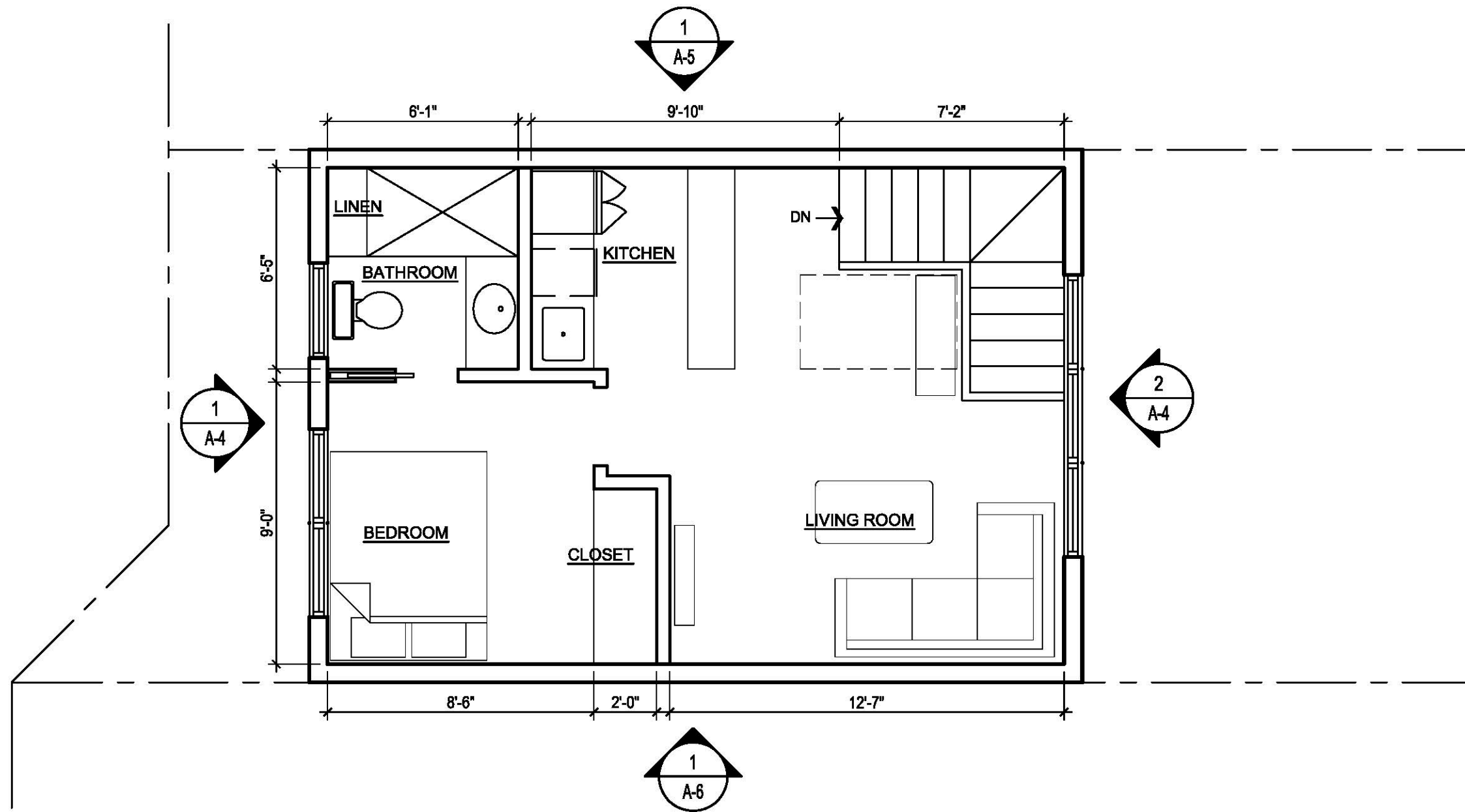
EXISTING YARD PLAN
SCALE: 1/4"=1'-0"



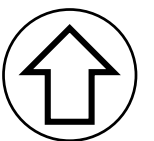


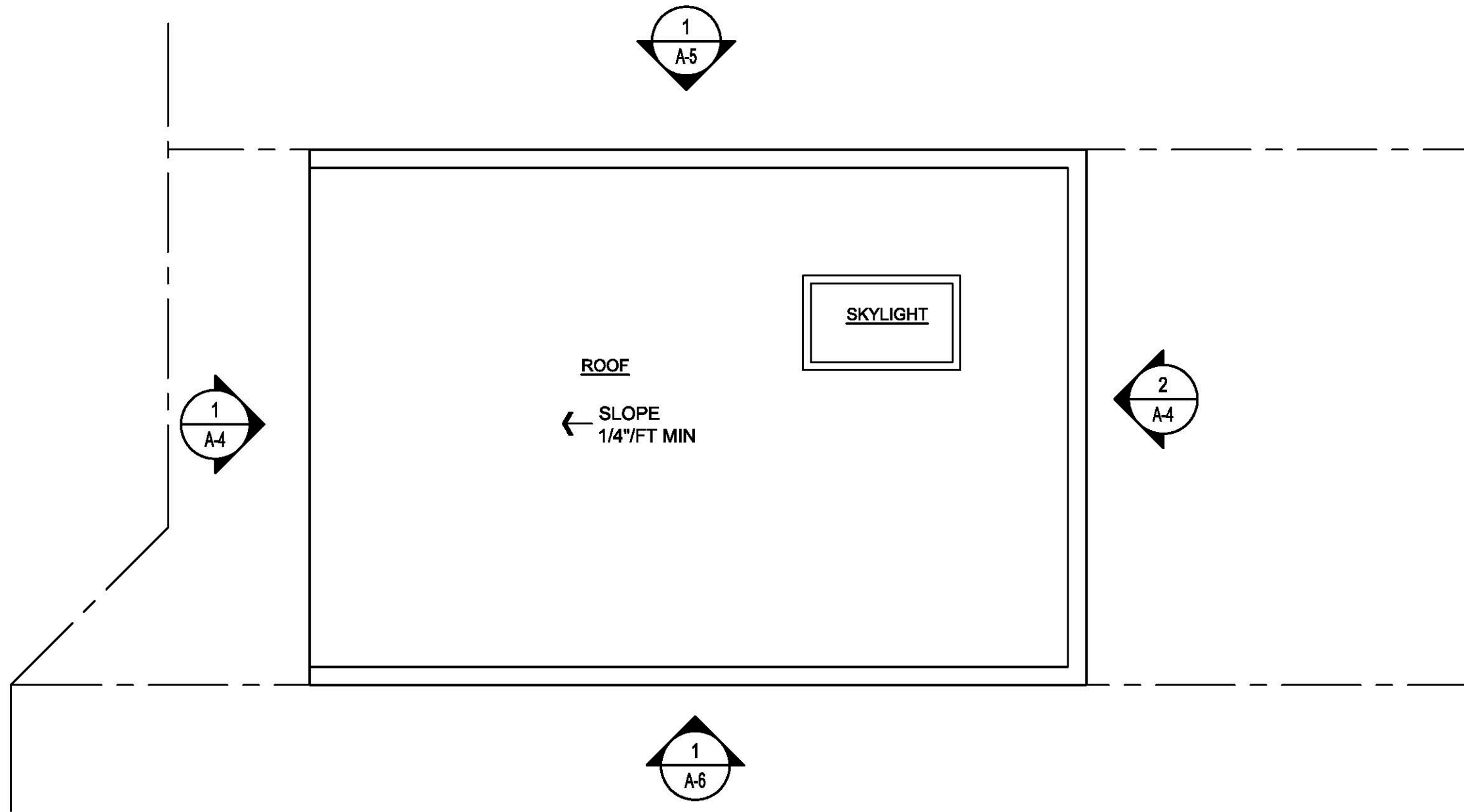
1 GARAGE FIRST FLOOR PLAN
 A-1 SCALE: 1/4"=1'-0"



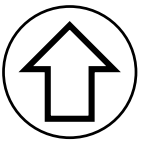


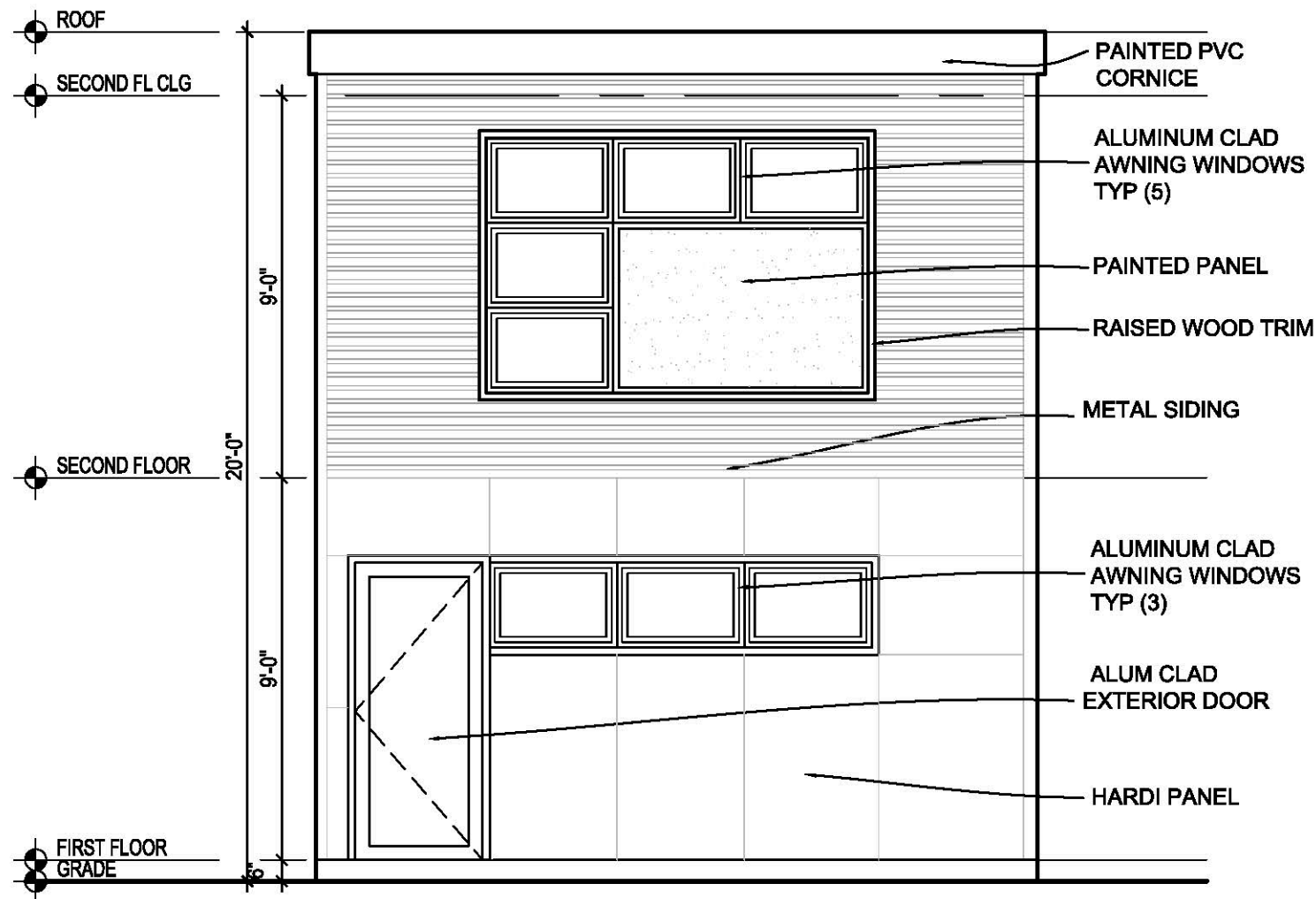
1 GARAGE SECOND FLOOR PLAN
 A-2 SCALE: 1/4"=1'-0"



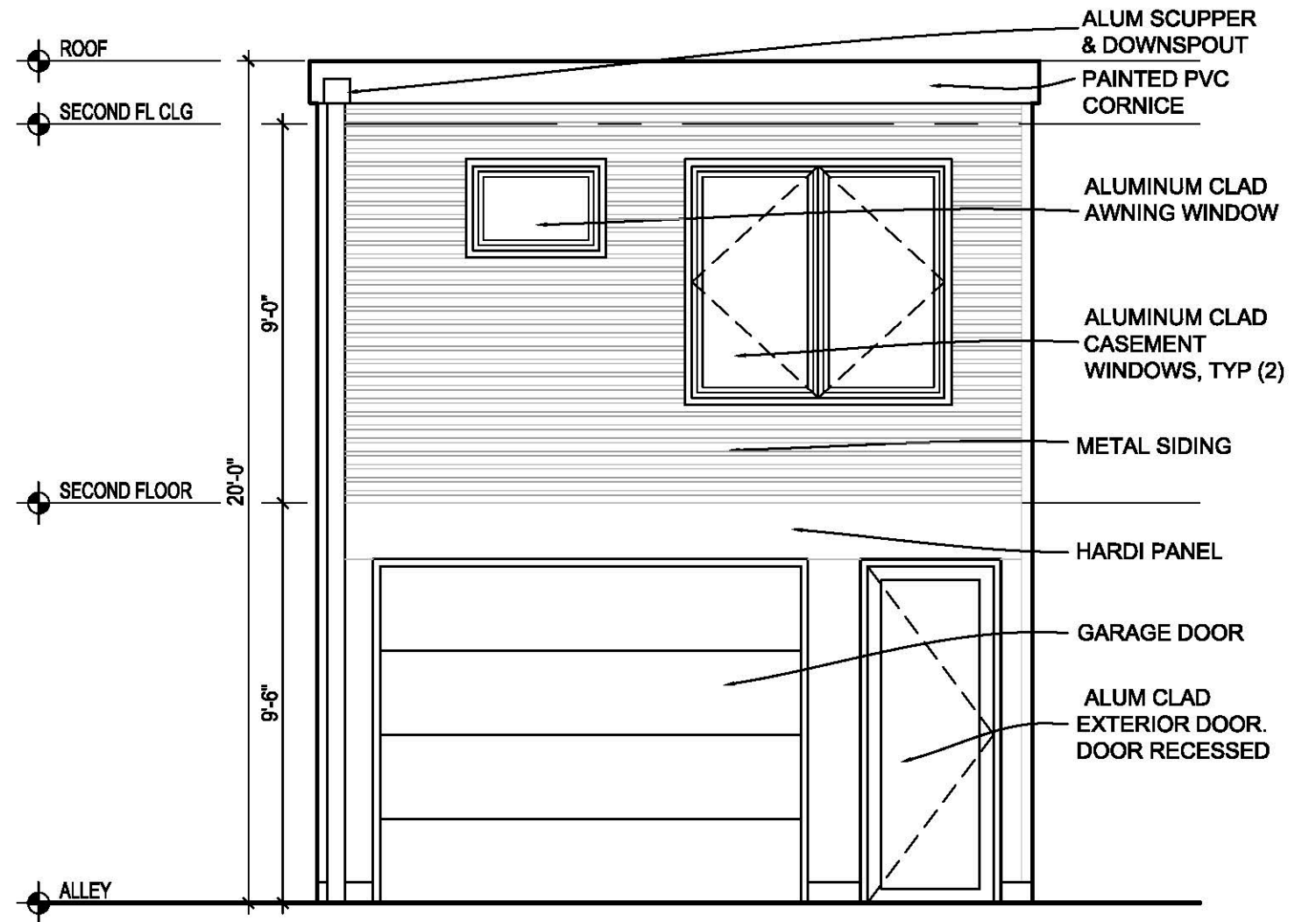


1 ROOF PLAN
A-3 SCALE: 1/4"=1'-0"

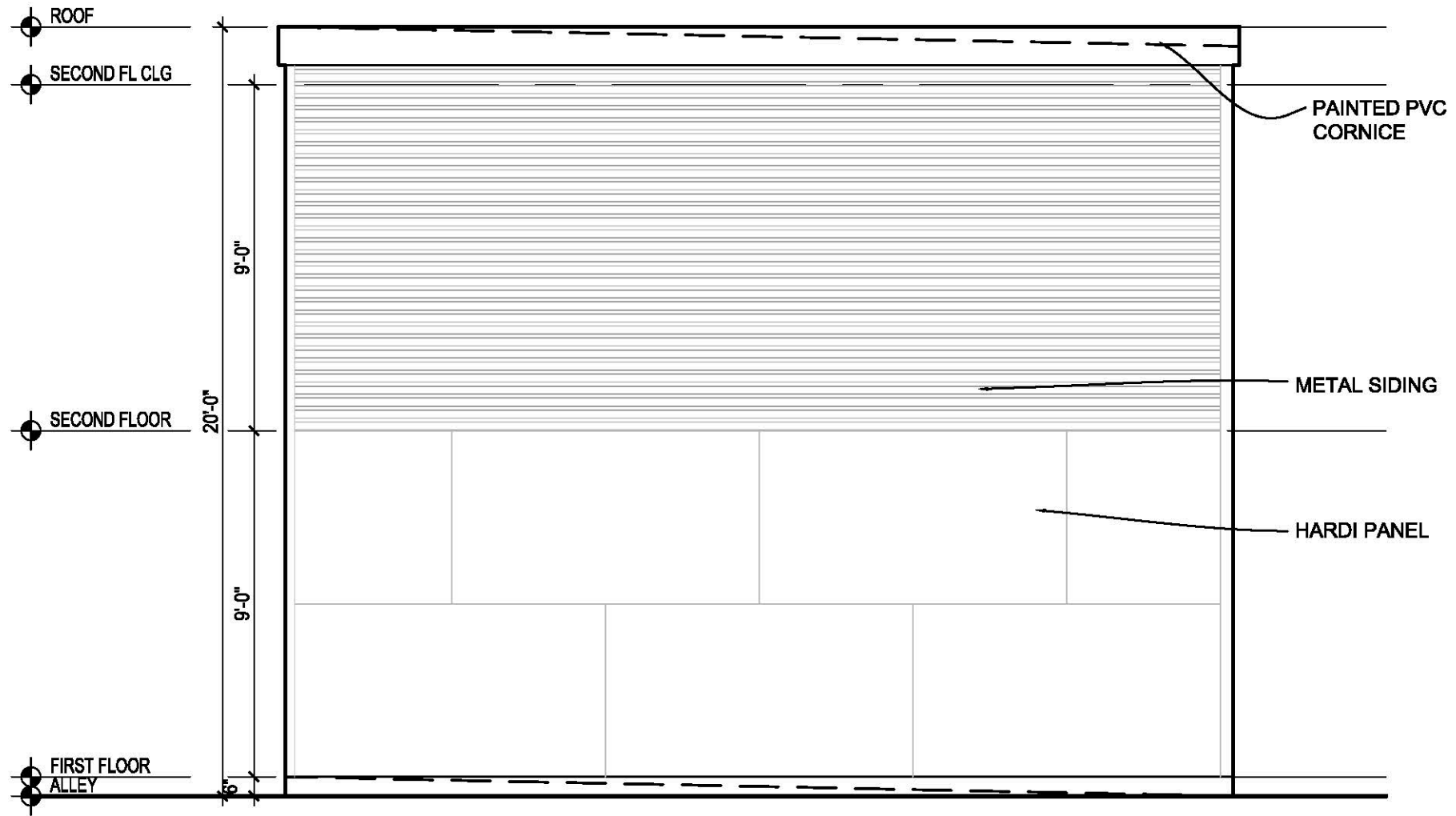




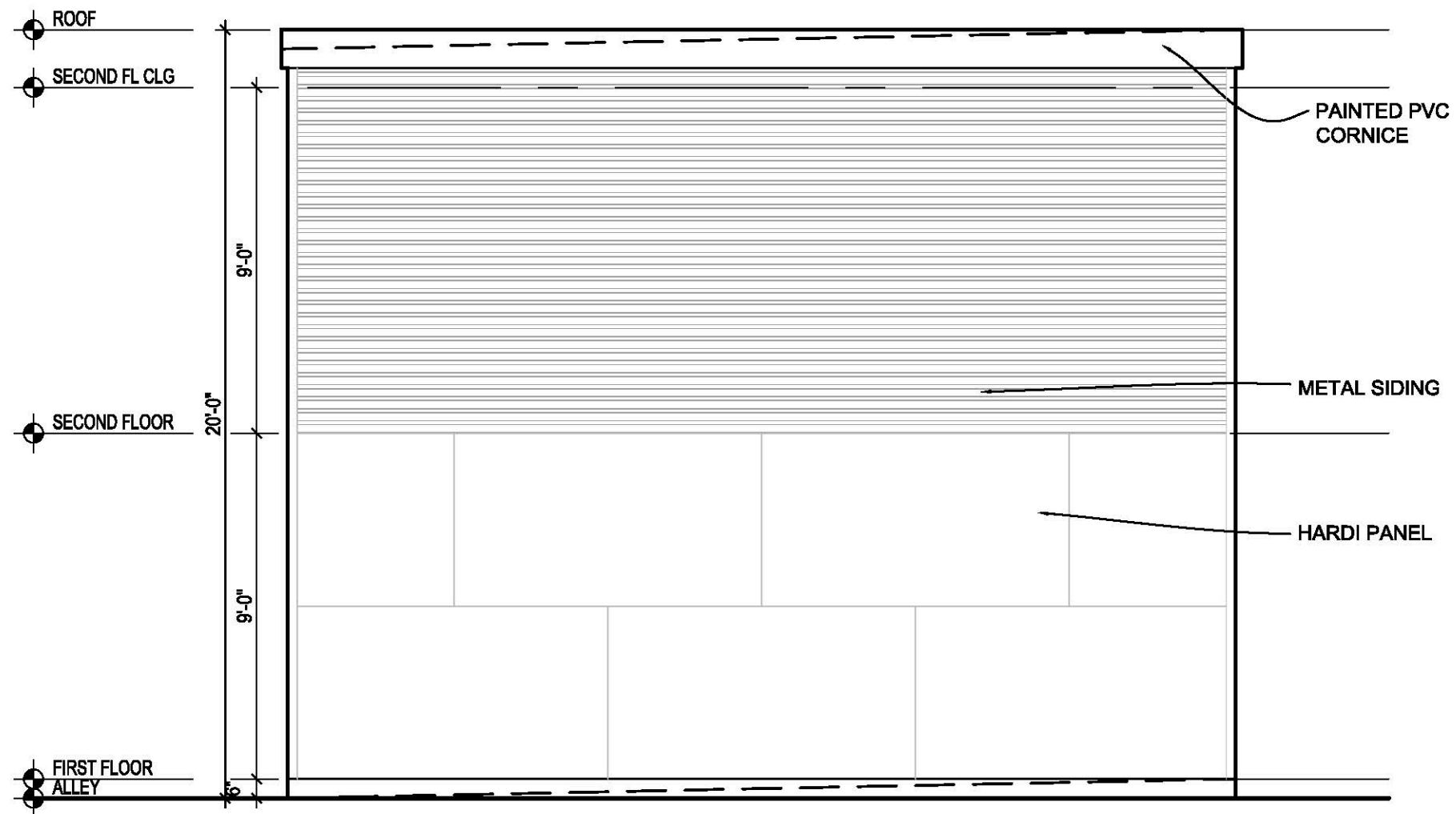
1 YARD ELEVATION
 A-4 SCALE: 1/4"=1'-0"



2 ALLEY ELEVATION
 A-4 SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
 A-5 SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
 A-6 SCALE: 1/4"=1'-0"